

**TOWNSHIP OF VERONA
BOARD OF ADJUSTMENT APPLICATION**

DATE APPLICATION 04/06/2026

CASE # 2026-11

PROPERTY ADDRESS 115 Linden Avenue

BLOCK 902 LOT 8 ZONE R-50

APPLICANT'S NAME Danielle & Doug Cantor

PHONE # 201-602-6336 CELL PHONE # _____

EMAIL dmaupai@hotmail.com

PROPERTY OWNER'S NAME Danielle & Doug Cantor

PROPERTY OWNER'S ADDRESS 115 Linden Avenue, Verona, NJ

PROPERTY OWNER'S PHONE # 201-602-6336 CELL # _____

PROPERTY OWNER'S EMAIL dmaupai@hotmail.com

RELATIONSHIP OF APPLICANT TO OWNER Self

REQUEST IS HEREBY MADE FOR PERMISSION TO DO THE FOLLOWING:

Provide a rear two story addition with a basement to an existing two story colonial home. A new proposed portico is also being proposed over the front door.

CONTRARY TO THE FOLLOWING:

~~The existing home and new proposed is over the required side and front yard setbacks. The new house addition will also be over the 30' height requirement.~~

LOT SIZE: EXISTING 5,963 SF PROPOSED 5,963 SF TOTAL 5,963 SF

HIEGHT: EXISTING 31'-4" PROPOSED 31'-4"

PERCENTAGE OF BUILDING COVERAGE: EXISTING 15.8% PROPOSED 22%

PERCENTAGE OF IMPROVED LOT COVERAGE: EXISTING 36.7% PROPOSED 39.7%

PRESENT USE single family PROPOSED USE single family

SET BACKS OF BUILDING:	REQUIRED	EXISTING	PROPOSED
FRONT YARD	<u>30'</u>	<u>21.14'</u>	<u>18.6'</u>
REAR YARD	<u>30'</u>	<u>91.3'</u>	<u>78.8'</u>
SIDE YARD (1)	<u>10'</u>	<u>9.98'</u>	<u>10.21'</u>
SIDE YARD (2)	<u>8'</u>	<u>6.67'</u>	<u>6.68'</u>

DATE PROPERTY WAS ACQUIRED 05/28/2014

BOARD OF ADJUSTMENT APPLICATION SITE PLAN

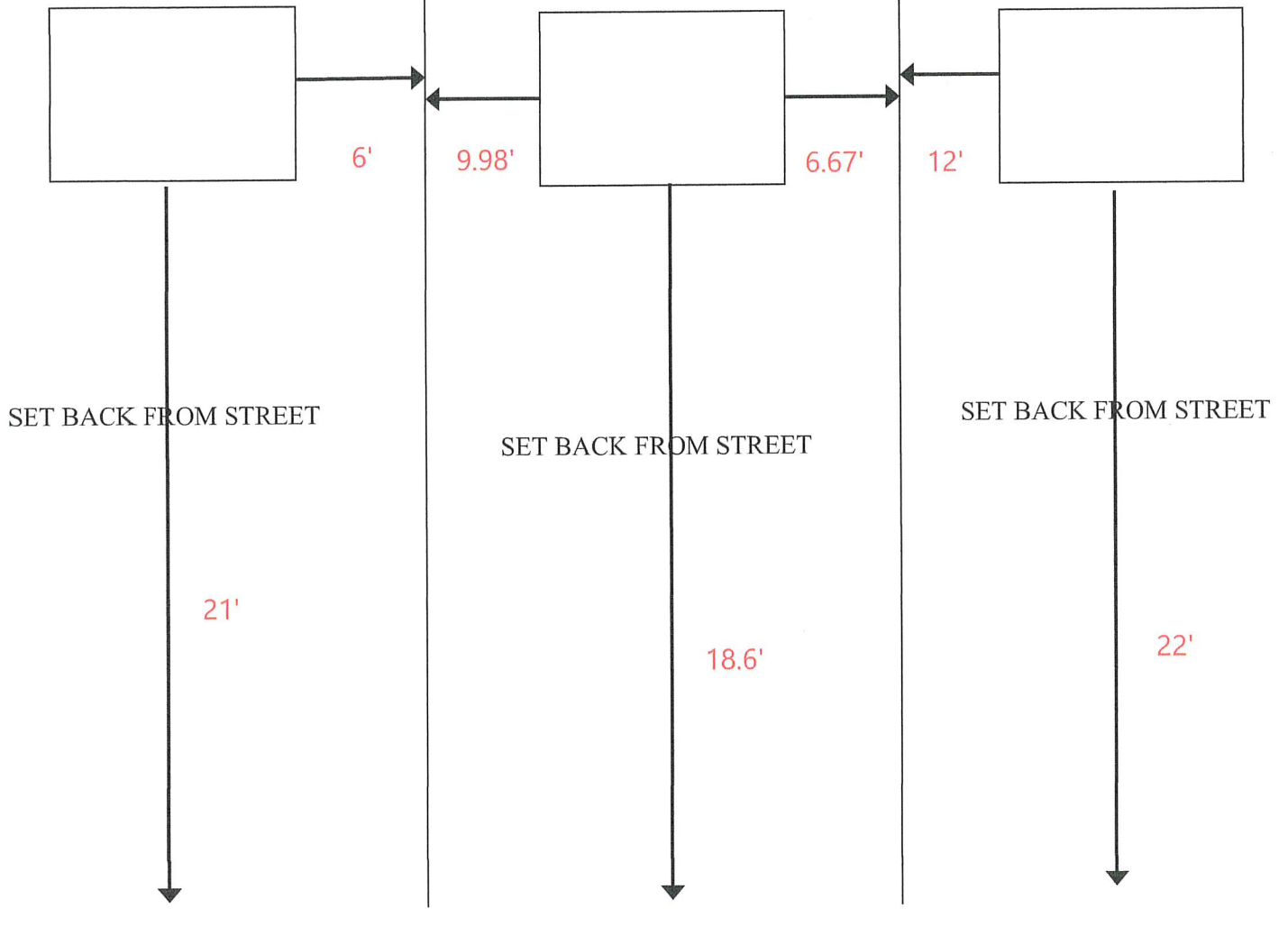
O INDICATES SHRUBS OR TREES

X INDICATES FENCES

NEIGHBOR'S HOUSE
ESTIMATE DISTANCE FROM
THE PROPOERTY LINE
HOUSE ON LEFT

APPLICANT'S HOUSE
SHOW THE DISTANCE TO THE
PROPERTY LINE FROM
SURVEY
CENTER HOUSE

NEIGHBOR'S HOUSE
ESTIMATE DISTANCE FROM
THE PROPOERTY LINE
HOUSE ON RIGHT



STREET

TOWNSHIP OF VERONA
COUNTY OF ESSEX, NEW JERSEY

TOWNSHIP MANAGER
KEVIN O'SULLIVAN
TOWNSHIP CLERK
JENNIFER KIERNAN



DEPUTY MANAGER
MICHAEL KRAUS
TOWNSHIP ATTORNEY
BRIAN J. ALOIA, ESQ.

VERONA COMMUNITY CENTER
880 BLOOMFIELD AVENUE
VERONA, NEW JERSEY 07044

MUNICIPAL BUILDING
600 BLOOMFIELD AVENUE
VERONA, NEW JERSEY 07044
(973) 239-3220
WWW.VERONANJ.ORG

DEPARTMENT OF PUBLIC WORKS
10 COMMERCE COURT
VERONA, NEW JERSEY 07044

Zoning Office 880 Bloomfield Avenue, Verona, NJ 07044 973-857-4772

April 1, 2026

Zoning Permit Application #2026-032– DENIED – Addition, Landing w/ Stairs, HVAC

Applicant: **EScott Architects**
 Evan Scott
 28 Arlington Avenue
 Caldwell, NJ 07006

Owner: **Danielle & Doug Cantor**
 115 Linden Avenue
 Verona, NJ 07044

Property: **115 Linden Avenue; Block 902, Lot 8**

Zone: **R-50 (High-Density Single-Family) Zone District**

Submittals:

This office is in receipt of the following:

- Township of Verona Residential Permit Application;
- Architectural Plans by EScott Architects, LLC, signed and sealed by Evan Scott, RA, dated February 2026, last revised for permit submission April 1, 2026;

ZONING REQUEST:

Based upon the zoning permit application, the applicant is seeking approval to construct a new two story rear addition with full basement below and attic above; two new HVAC units; rear

landing and steps; portico. No other requests have been submitted or shown and therefore have not been considered in this departments review. This review for Zoning only.

ZONING DETERMINATION:

- The property is located in the R-50 (High-Density Single-Family) Zone District;
- As per § 150-17.5 (1) a single family home is permitted;
- As per § 150-17.5 D. (1) Minimum lot size: 5,000 square feet, existing is 5,963 square feet – Compliant;
- As per § 150-17.5 D. (2) Minimum lot width: 50 feet; existing is 40 feet wide – pre-existing, non-conforming lot width;
- As per § 150-17.5 D. (3) Maximum lot coverage 30% or 1,788.9 square feet; existing is 15.8% or 942 square feet and proposed is 22% or 1,314 square feet – Compliant;
- As per § 150-17.5 D. (4) Maximum improved lot coverage: 40% or 2,385 square feet; existing is 39.9% or 2,158 square feet; proposed is 39.7% or 2,369 square feet – Compliant;
- As per § 150-17.5 E. (1) Minimum front yard setback: 30 feet; existing and proposed is 21.14 feet – pre-existing non-conforming condition;

Addition

- As per § 150-17.5 E (2) Minimum side yard setback (one): eight feet; existing on the SW side is 6.68 feet and proposed is 6.67 feet; **As per § 150-13.3 B. A residential building which complies with the use requirements of this Ordinance, and which violates a setback regulation may be expanded, provided that such expansion complies with all current bulk regulations and does not enlarge the extent of the existing setback violation, whether by height or by extension. The existing side yard setback on the SW side of the existing dwelling is 6.68 feet, a pre-existing non-conforming condition that cannot be exacerbated – A Variance is required;**
- As per § 150-17.5 E (2) Minimum side yard setback (one): eight feet; existing on the NE side is 10.21 feet and proposed is 10.18 feet – Compliant;
- As per § 150-17.5 E (3) Minimum side yard setbacks (both): 18 feet; existing is 16.89 feet proposed addition is 17 feet –the pre-existing non-conforming setback; **A variance is needed per § 150-13.3 B;**
- As per § 150-17.5 E (5) Minimum rear yard setback: 30 feet, existing to rear single story is 91.7 feet and proposed 78.7 feet – Compliant;
- As per § 150-17.3 E (6) Maximum height (stories/feet): 2.5/30; existing is 2.5/29.25 and proposed is 2.5/32.25 feet - **A variance is needed per § 150-17.3 E (6) and § 150-13.3 B;**
- Modifying driveway, reducing 14 square feet to clear new addition;
- Attic – Habitable Calculations:
 - Exist Attic Floor - 197 SF
 - Proposed - 129 SF
 - Total - 326 SF
 - 2nd Floor - 987 SF
 - 1/3 Floor Below - 326 SF allowable

Portico

- A 21 square foot portico is proposed over the front entrance to the dwelling;
- As per § 150-17.5 E. (1) Minimum front yard setback: 30 feet with an allowance of 5 feet into the front yard setback; proposed front yard setback is 18.6 feet – **A Variance is needed;**
- Proposed as 19± feet from grade to peak of portico;

Rear Landing & Steps

- A 38 square feet rear landing with new stairs is proposed;
- As per § 150-17.5 F. (1) Minimum side yard setback (one): eight feet; landing is proposed as 10.34 feet from the NE side property line; 22.5± feet from the SW side property line – Compliant;
- As per § 150-17.5 F (2) Minimum rear yard setback: 10 feet; landing and steps are proposed as 72.5 feet from the rear property line – Compliant;
- As per § 150-17.5 F (5) Maximum height (stories/feet): 1 1/2 stories; 15 feet; landing is is proposed as 3 feet from grade– Compliant;

Mechanical Equipment

- § 150-7.13 A. No mechanical equipment shall be located within a required minimum yard requirement and shall not extend more than five feet from the structure for which they serve.
- Two HVAC units are proposed in the rear yard as follows:
 - Installed on pads, 9 square feet each;
 - As per § 150-17.5 F. (1) Minimum side yard setback (one): eight feet; units are proposed as 8 feet from the NE side property line; 25 feet from the SW side property line – Compliant;
 - As per § 150-17.5 F (2) Minimum rear yard setback: 10 feet; units are proposed as 80.2 feet from the rear property line – Compliant;

Rear Yard Coverage

- As per § 150-17.5 F (4) Maximum aggregate area covered by accessory structures in the yard it is located in: 15%; yard is 3,142 square feet where 15% is 471.3 square feet; proposed is 8.7% or 274 square feet – Compliant;
- The net disturbance is **less than 400 square feet**; Engineering / Stormwater review is not required;
- No trees are shown to be removed; Please refer to § 493-20 Protection of trees during construction.
- A proposed limit of disturbance of 5000 SF requires HEPSCD certification.

ZONING DECISION:

Based on the reviewed submitted items, the applicant's request for a Zoning Permit has been **denied** by this office.

Please Note:

1. No electrical, plumbing or building codes were reviewed as part of this application. Please coordinate with the Township of Verona Construction/Building Department for any required permits and or inspections which may be required.

Please feel free to contact this office should you have any questions.

Respectfully Submitted,



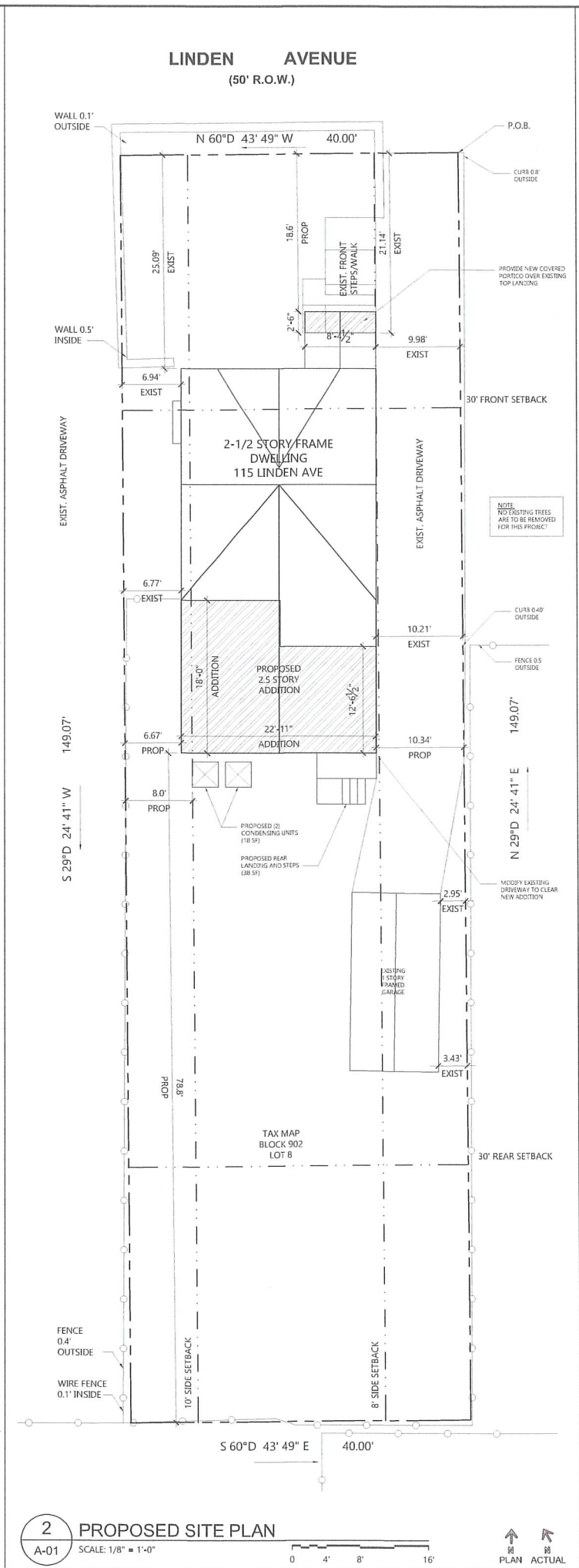
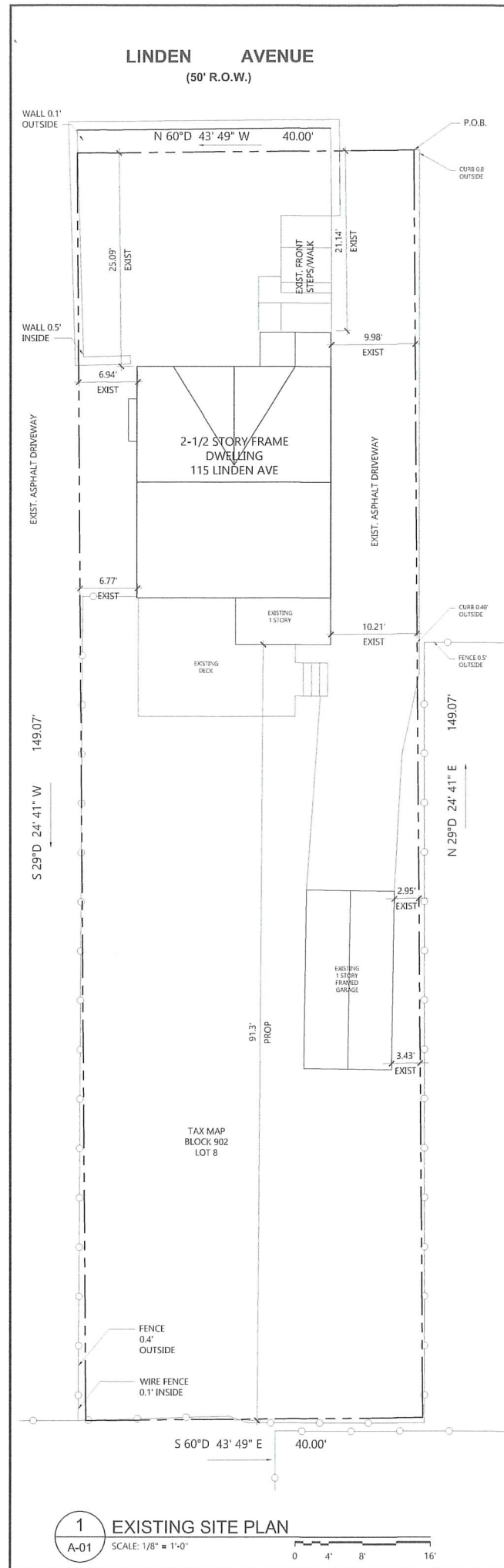
Kathleen Miesch

Zoning Official

cc: DeeDee Carpinelli – Zoning Assistant
Lenny Mendola - Construction Official
Kristin Spatola – Technical Assistant to the Construction Official
Renee Reynolds - Technical Assistant to the Construction Official







ABBREVIATIONS

@	AT	MECH	MECHANICAL
A/C	AIR CONDITIONING	MET	METAL
ACT	ACOUSTICAL	MISC	MISCELLANEOUS
	CEILING TILE	MLDG	MOULDING
ADI	ADJUST (ABLE)	MO	MASONRY OPENING
AFF	ABOVE FINISHED FLOOR	MTD	MOUNTED MATERIAL
AFS	ABOVE FINISHED SLAB	NA	NOT APPLICABLE
ALT	ALTERNATE	NIC	NOT IN CONTRACT
ALUM	ALUMINUM	NOM	NOMINAL
		NTS	NOT TO SCALE
BD	BOARD	OA	OVERALL
BLDG	BUILDING	OC	ON CENTER
BLKG	BLOCKING	OD	OUTSIDE OF DIAMETER
BO	BY OTHERS, BOTTOM OFF	OH	OVERHEAD
BOTT	BOTTOM BUILDING	OPNG	OPENING
BS	STANDARD BASEMENT	OPP	OPPOSITE
BSMT		PTD	PAINT (ED)
		PNL	PANEL
C	CARPETING	P	PLATE
CAB	CABINET	PL	PLASTIC
CL	CENTERLINE	PLMB	PLUMBING
CLR	CLEAR	POL	POLISHED
CLG	CEILING	PROJ	PROJECT
CLOS	CLOSET	PT	POINT
COLM	COLUMN	PTL	PRESSURE TREATED LUMBER
CONC	CONCRETE	PTN	PARTITION
CONST	CONSTRUCTION	PWD	PLYWOOD
CONTR	CONTRACTOR	QT	QUARRY TILE
CORR	CORRIDOR	R	RADIUS/RISER
CT	CERAMIC TILE	A	RETURN AIR
		RB	RESILIENT BASE
DEM	DEMOLISH (TION)	REF	REFERENCE
DET	DETAIL	REFRIG	REFRIGERATOR
DF	DRINKING FOUNTAIN	REG	REGULAR
DH	DOUBLE HUNG	REL	RELOCATED
DIA	DIAMETER	REQ'D	REQUIRED
DIAG	DIAGONAL	RET	RETURN
DIM	DIMENSION	REV	REVISION
DN	DOWN	RF	RAISED FLOOR
DR	DOOR	RH	RIGHT HAND
DWG	DRAWING	RM	ROOM
		RO	ROUGH OPENING
EA	EACH	S	SPEAKER
EL	ELEVATION	SCH	SCHEDULE
ELEC	ELECTRIC	SD	SMOKE DETECTOR
ELEV	ELEVATION	SECT.	SECTION
ENCL	ENCLOSE	SG	SAFETY GLASS
EQ	EQUAL	SH	SHEET
EQIP	EQUIPMENT	SIM	SIMILAR
ETC	ETCETERA	SP	STARTING POINT
EWC	ELECTRIC WATER COOLER	SPEC	SPECIFICATION
EXH	EXHAUST	SPKR	SPRINKLER
EXIST	EXISTING	SQ	SQUARE
EXP	EXPOSED	SS	STAINLESS STEEL
		STD	STANDARD
FA	FRESH AIR	STL	STEEL
FE	FIRE EXTINGUISHER	STOR	STORAGE
FEC	FIRE EXTINGUISHER CABINET	ST.STL	STAINLESS STEEL
FG	FLOAT GLASS	SURF	SURFACE
FH	FULL HEIGHT	SUSP	SUSPENDED
FIN	FINISH	T	TREAD
FL	FLOOR	T&B	TOP & BOTTOM
FLUOR	FLUORESCENT	TEL	TELEPHONE
FP	FIREPROOF	TEMP	TEMPERED
FPSC	FIREPROOF SELF-CLOSING	TERR	TERRAZZO, TERRACE
FR	FIRE RETARDANT	T&G	TONGUE & GROOVE
FS	FULL SIZE	THK	THICK (NESS)
FUT	FUTURE	TKBO	TACKBOARD
		TO	TRIMMED OPENING
GA	GALVE	T.V.	TELEVISION CABLE
GC	GENERAL CONTRACTOR	TYP.	TYPICAL
GL	GLASS	UC	UNDERCUT
GYP.BD.	GYP.SUM BOARD	UNF	UNFINISHED
		UON	UNLESS OTHERWISE NOTED
HDWR	HARDWARE	W	WIDE, WIDTH
HM	HOLLOW METAL	WTH	WITH
HOR	HORIZONTAL	WC	WALLCOVERING, WATER CLOSET
HR	HOUR	WD	WOOD
HT	HEIGHT	WP	WATERPROOF
HTG	HEATING		
HW	HOT WATER		
H	HEATER		
HVAC	HEATING/VENTILATION AIR CONDITIONING		
		V	VINYL
INCL	INCLUDE (ING)	V.PNL	VISION PANEL
INSUL	INSULATE (ION)	VCT	VINYL COMPOSITE TILE
INT	INTERIOR		
JC	JANITOR'S CLOSET	VDT	VIDEO DISPLAY TERMINAL
JT	JOINT	VERT	VERTICAL
		VEST	VESTIBULE
KIT	KITCHEN	VIF	VERIFY IN FIELD
KO	KNOCKOUT		
		L	LENGTH
L	LENGTH	LAM	LAMINATE
LAM	LAMINATE	LAV	LAVATORY
LAV	LAVATORY	LED	LED LIGHTING
LED	LED LIGHTING	LH	LEFT HAND
LH	LEFT HAND	LT	LIGHT
LT	LIGHT		

CANTOR RESIDENCE

115 LINDEN AVENUE
VERONA, NJ 07044

ZONING DISTRICT	R-50
CLIMATE ZONE	4A
TAX BLOCK	902
TAX LOT	8

LOADS

1. ROOF DEAD LOAD:	20 PSF
2. ROOF LIVE LOAD:	30 PSF
3. FLOOR DEAD LOAD (AT WOOD FINISH):	20 PSF
4. FLOOR DEAD LOAD (AT TILE FINISH):	30 PSF
5. FLOOR LIVE LOAD:	40 PSF
6. ATTIC WITHOUT STORAGE:	10 PSF
7. GUARDRAILS AND HANDRAILS:	200 PSF
8. GUARDRAIL INFILL COMPONENTS:	50 PSF
9. STAIRS:	40 PSF
10. SNOW LOAD:	30 PSF
11. WIND LOAD:	115 MPH, 3-SEC GUSTS
12. RISK CATEGORY:	II

BULK CALCULATIONS

LOT AREA:	5,963 SQ.FT.
BUILDING COVERAGE EXISTING	942 SF / 5,963 SF = 15.8%
EXIST HOUSE	724 SF
EXIST GARAGE	218 SF
BUILDING COVERAGE PROPOSED	1,314 SF / 5,963 SF = 22% (30% MAX ALLOWED)
EXIST HOUSE	724 SF
PROPOSED HOUSE	351 SF
PROPOSED GARAGE	218 SF
IMPERVIOUS COVERAGE EXISTING	2,191 SF / 5,963 SF = 36.7%
EXIST HOUSE	724 SF
EXIST GARAGE	218 SF
EXIST DRIVEWAY	916 SF
EXIST BACK DECK	236 SF
EXIST FRONT WALK	97 SF
IMPERVIOUS COVERAGE PROPOSED	2,369 SF / 5,963 SF = 39.7% (40% MAX ALLOWED)
EXIST HOUSE	724 SF
EXIST GARAGE	218 SF
PROPOSED HOUSE	351 SF
PROPOSED DRIVEWAY	902 SF
EXIST FRONT WALK	97 SF
PROPOSED CONDENSING UNITS	18 SF
REAR YARD AREA PROPOSED	3,142 SF (15% COVERAGE ALLOWED)
PROPOSED LANDING/STEPS, GARAGE & A/C UNITS	274 SF = 8.7%

BUILDING AREA

EXISTING BASEMENT FLOOR:	528 SF
ADDITION TO BASEMENT FLOOR:	364 SF
TOTAL BASEMENT FLOOR:	892 SF
EXISTING FIRST FLOOR:	660 SF
ADDITION TO FIRST FLOOR:	351 SF
TOTAL FIRST FLOOR:	1,011 SF
EXISTING SECOND FLOOR:	575 SF
ADDITION TO SECOND FLOOR:	412 SF
TOTAL SECOND FLOOR:	987 SF
EXIST ATTIC FLOOR:	197 SF
ADDITION TO ATTIC FLOOR:	129 SF
TOTAL ATTIC FLOOR:	326 SF

ATTIC AREA: 1/3 THE FLOOR BELOW AREA FOR HABITABLE AREA AND NO STORAGE
987 * 0.33 = 326 SF ALLOWED

PROPOSED ADDITION VOLUME:
2,912 CU.FT. BASEMENT
2,208 CU.FT. 1ST FLOOR
3,296 CU.FT. 2ND FLOOR
903 CU.FT. ATTIC FLOOR
9,319 CU.FT. TOTAL ADDITION

BUILDING HEIGHT

EXISTING HEIGHT:	2.5 STORY W/ BASEMENT 31'-4"
PROPOSED HEIGHT:	2.5 STORY W/ BASEMENT 31'-4" (EXISTING TO REMAIN) VARIANCE REQUIRED (30' MAX ALLOWED)

HEIGHT CALCULATION

1. FINISHED FIRST FLOOR:	0'-0"
2. RIGHT SIDE FRONT:	-2'-11"
3. RIGHT SIDE MIDDLE:	-2'-9"
4. RIGHT SIDE REAR:	-3'-1"
5. LEFT SIDE FRONT:	-2'-11"
6. LEFT SIDE MIDDLE:	-3'-0"
7. LEFT SIDE REAR:	-3'-2"
AVERAGE GRADE HEIGHT:	-3'-0"
EXIST & PROP ROOF LINE ABOVE FIN FIRST FLR:	29'-3"
HEIGHT OF BUILDING ABOVE GRADE:	32'-3"

SETBACKS

NORTH FRONT SETBACK:	18.6' PROPOSED	30'-0" REQUIRED
WEST SIDE SETBACK:	6.67' PROPOSED	8'-0" (VARIANCE REQUIRED)
SOUTH REAR SETBACK:	7.8' PROPOSED	30'-0" REQUIRED
EAST SIDE SETBACK:	9.98' PROPOSED	10'-0" REQUIRED

CODE COMPLIANCE

GOVERNING CODE OF NEW ADDITION AND INTERIOR ALTERATIONS TO BE PER:

- INTERNATIONAL RESIDENTIAL CODE, NJ ADDITION 2021
- REHABILITATION SUBCODE = NJAC 5:23-6
- NATIONAL ELECTRICAL CODE, 2020
- NATIONAL STANDARD PLUMBING CODE, 2021
- INTERNATIONAL ENERGY CONSERVATION CODE, 2021 (RESIDENTIAL)

PROJECT SCOPE

- NEW TWO STORY REAR ADDITION WITH FULL BASEMENT BELOW AND ATTIC ABOVE.
- RENOVATE EXISTING INTERIOR AND BACK PLAY ROOM AND PROVIDE NEW EXPANDED KITCHEN AND WALL BETWEEN KITCHEN AND DINING ROOM.
- NEW REAR ADDITION TO HAVE NEW FAMILY ROOM OUT BACK ALONG WITH A NEW OFFICE, FULL BATHROOM, MUDROOM AND A LAUNDRY ROOM.
- PROVIDE NEW REAR ACCESS FROM FAMILY ROOM AND MUDROOM LEADING TO A NEW DECK THE LENGTH OF THE HOUSE.
- SECOND FLOOR ADDITION TO HAVE NEW PRIMARY BEDROOM SUITE INCLUDING NEW WALK-IN CLOSET, CLOSETS, AND PRIMARY BATHROOM.
- EXISTING HALL BATH TO BE RENOVATED AND EXPANDED INTO NEW ADDITION.
- PROVIDE A NEW STAIR OVER THE EXISTING THAT LEADS UP TO THE EXISTING ATTIC FLOOR. PROVIDE OPEN RAILINGS AT LANDINGS.
- EXISTING HALLWAY LINEN CLOSET TO BE REMOVED AND EXISTING BEDROOM WALL TO BE RELOCATED INTO EXISTING HALLWAY.
- ATTIC FLOOR TO BE EXPANDED INTO NEW ADDITION AND PROVIDE A NEW DORMER FOR ADDITIONAL HEADROOM.
- PROVIDE A LARGE ROOM IN THE ATTIC WITH A NEW FULL BATHROOM.
- BACK HALF OF NEW ADDITION ATTIC TO BE VAULTED CEILING IN PRIMARY BEDROOM BELOW.
- PROVIDE NEW HEATING AND COOLING WITH CENTRAL AIR/HEAT WITH A UNIT IN THE BASEMENT AND A NEW UNIT IN THE ATTIC.
- PAINT EXISTING HOUSE.

DRAWING LIST - JOB # ES-2570

ARCHITECTURAL:

- A-01 - SITE PLAN, CODES, AND NOTES
- A-02 - DEMOLITION FLOOR PLANS
- A-03 - DEMOLITION ELEVATIONS
- A-04 - PROPOSED FLOOR PLANS 1
- A-05 - PROPOSED FLOOR PLANS 2
- A-06 - DOOR & WINDOW SCHEDULES
- A-07 - PROPOSED ELEVATIONS 1
- A-08 - PROPOSED ELEVATIONS 2
- A-09 - PROPOSED FRAMING PLANS
- A-10 - PROPOSED BUILDING SECTIONS
- A-11 - PROPOSED DETAIL WALL SECTIONS
- A-12 - STRUCTURAL NOTES
- A-13 - DETAILS 1
- A-14 - DETAILS 2
- E-01 - PROPOSED ELECTRICAL FLOOR PLANS 1
- E-02 - PROPOSED ELECTRICAL FLOOR PLANS 2

EScott Architects, LLC
28 Arlington Avenue
Caldwell, NJ 07006
P. 973.532.8886 | info@escottarchitects.com

KEY PLAN:

PROJECT:

CANTOR RESIDENCE

115 LINDEN AVENUE
VERONA, NJ 07044

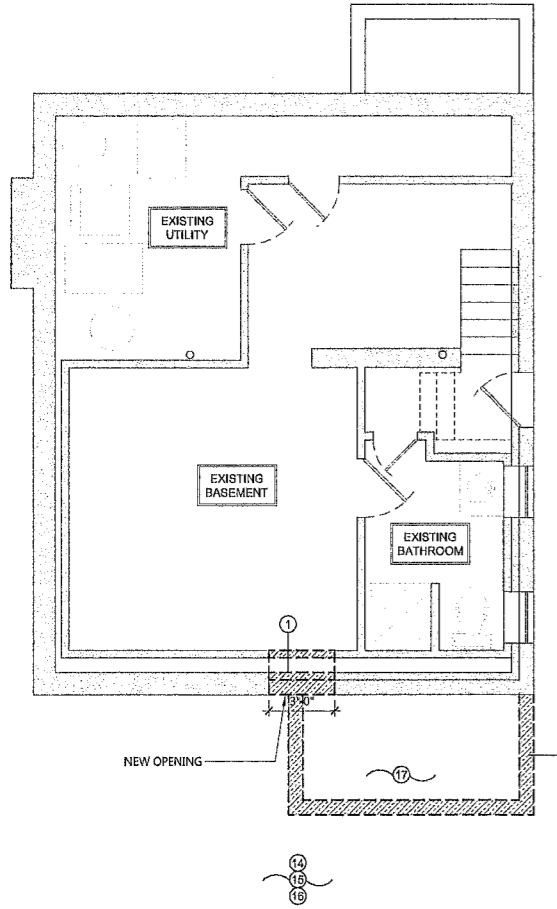
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SITE PLAN, CODES AND DETAILS

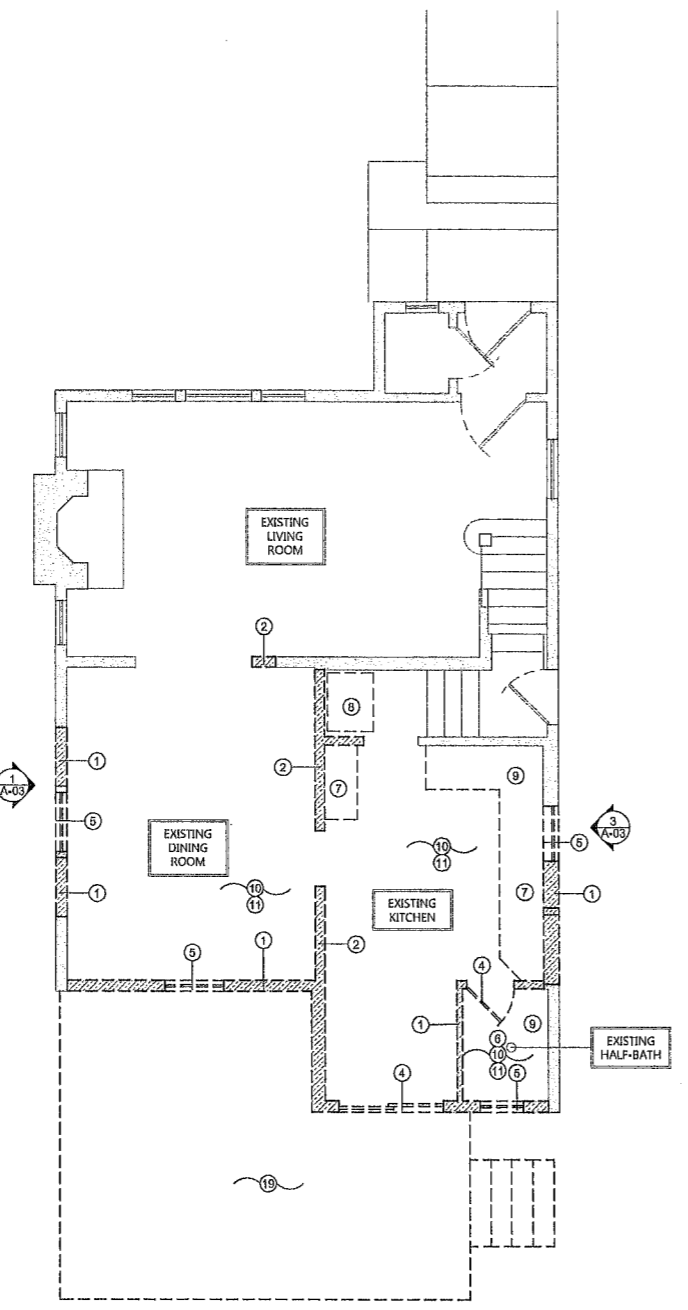
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DATE:	FEB 2026	PROJECT NO.:	ES-2570
DRAWING NO.:			

A-01

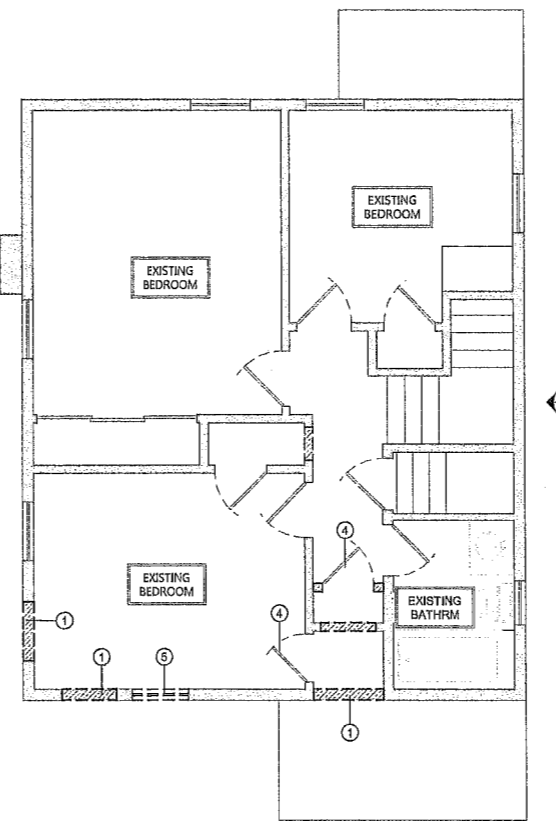
SHEET: 1 of 13



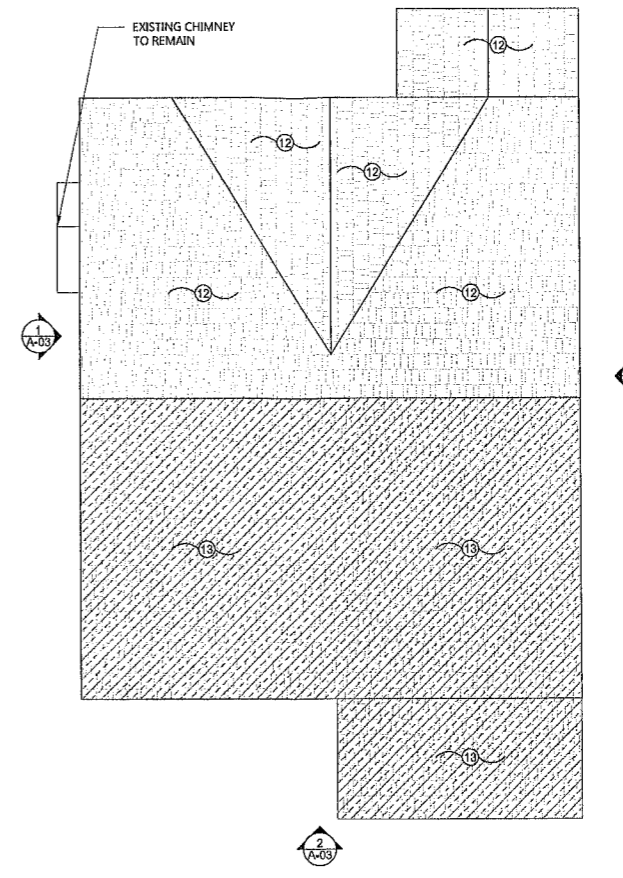
1 DEMOLITION BASEMENT PLAN
 A-02 SCALE: 1/4" = 1'-0"
 0 2' 4' 8'



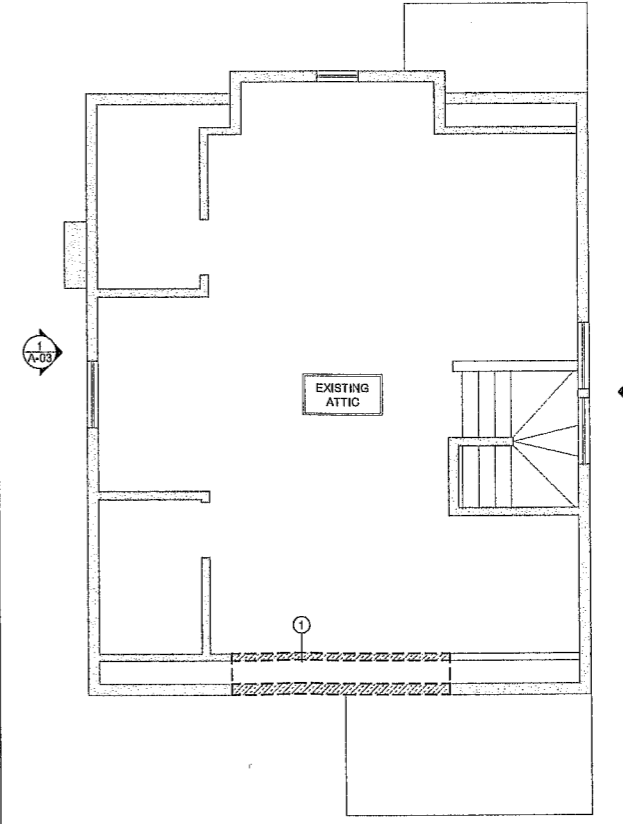
2 DEMOLITION FIRST FLOOR PLAN
 A-02 SCALE: 1/4" = 1'-0"
 0 2' 4' 8'



3 DEMOLITION SECOND FLOOR PLAN
 A-02 SCALE: 1/4" = 1'-0"
 0 2' 4' 8'



5 DEMOLITION ROOF PLAN
 A-02 SCALE: 1/4" = 1'-0"
 0 2' 4' 8'



4 DEMOLITION ATTIC PLAN
 A-02 SCALE: 1/4" = 1'-0"
 0 2' 4' 8'

DEMOLITION LEGEND

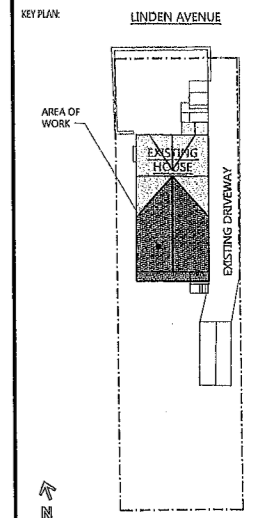
	EXISTING WALL TO REMAIN
	WALL TO BE DEMOLISHED
	WINDOW TO BE REMOVED
	DOOR & FRAME TO BE REMOVED
	ROOM NAME

- GENERAL DEMOLITION NOTES**
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY DUST AND DEBRIS PROTECTION BETWEEN AREAS OF DEMOLITION AND AREAS IN WHICH NO WORK IS TAKING PLACE. LOCATION OF SUCH PROTECTION SHALL BE VERIFIED WITH OWNER PRIOR TO COMMENCING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SUPPORT AND SHORING OF EXISTING CEILINGS, WALL PARTITIONS, BEAMS ETC. DURING DEMOLITION TO MAINTAIN STRUCTURAL INTEGRITY. SEE STRUCTURAL NOTES ON DRAWING A-06.
 - CONTRACTOR SHALL COVER AND TARP AREAS OF ROOF DURING DEMOLITION AND CONSTRUCTION TO ENSURE NO WATER AND DEBRIS PENETRATION.
 - CONTRACTOR IS TO COORDINATE ALL DEMOLITION WITH OTHER TRADES.
 - CONTRACT DRAWINGS ARE NOT INTENDED TO REPRESENT EXACT DIMENSIONS. FIELD DIMENSIONS ARE THE RESPONSIBILITY OF THIS CONTRACTOR FOR ALL DEMOLITION WORK.
 - CONTRACTOR SHALL REMOVE ANY UNUSED PLUMBING IN FLOOR PRIOR TO COMMENCING WORK. CONTRACTOR TO RELOCATE ANY EXISTING PIPING OBSTRUCTING WITH NEW WORK.
 - EXISTING ELECTRICAL CONDUIT, WIRES AND BOXES IN AREAS OF WORK SHALL BE REMOVED AND REPLACED WITH NEW. ENSURE EXISTING OUTLETS, SWITCHES AND LIGHTS TO REMAIN ARE IN WORKING ORDER.
 - CONTRACTOR TO VERIFY NO EXISTING TELECOMMUNICATION WIRES, COAXIAL CABLE AND OTHER EXISTING WIRING OR DEVICES ARE REMOVED AND OR DAMAGED DURING DEMOLITION.

- DEMOLITION KEY NOTES**
- EXISTING WALL TO BE REMOVED IN ITS ENTIRETY INCLUDING SHEATHING, STUDS, INSULATION, BLOCKING & THE LIKE.
 - REMOVE EXISTING INTERIOR WALL. THIS INCLUDES BUT NOT LIMITED TO PLASTER, SHEETROCK, SHEATHING AND STUDS. SHORE WALL AS REQUIRED IF LOAD BEARING.
 - EXISTING SLAB, PATIO AND ASPHALT TO BE REMOVED. PERFORM EXCAVATION FOR NEW FOOTINGS (BUILDING ADDITION AND STAIRS)
 - REMOVE EXISTING DOOR, FRAMING, TRIM & ASSOCIATED HARDWARE. SALVAGE ALL DOOR HARDWARE FOR POSSIBLE REUSE.
 - REMOVE EXISTING WINDOW, WINDOW FRAMING, TRIM AND ASSOCIATED HARDWARE IN ITS ENTIRETY.
 - EXISTING TILE FLOORING TO BE REMOVED IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO GROUT, SETTING BED, SUB-FLOOR AND THE LIKE.
 - EXISTING KITCHEN TO BE REMOVED INCLUDING CABINETS, COUNTER TOP, AND THE LIKE.
 - EXISTING KITCHEN APPLIANCES AND FLOOR/WALL CABINETS TO BE REMOVED. CONFIRM WITH OWNER ON RELOCATION AND REUSE.
 - EXISTING PLUMBING FIXTURE TO BE REMOVED IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO HANGERS, PIPING AND THE LIKE.
 - EXISTING CEILING TO BE REMOVED IN ITS ENTIRETY.
 - PROTECT WOOD FLOORS DURING CONSTRUCTION AS REQUIRED SO NO DENTING OR DAMAGE IS DONE DURING DEMOLITION OR CONSTRUCTION.
 - REMOVE EXISTING ROOF SHINGLES ONLY. SHEATHING AND RAFTERS TO REMAIN.
 - REMOVE EXISTING ROOF SHINGLES, SHEATHING, RAFTERS AND ASSOCIATED ITEMS FOR NEW ADDITION.
 - CREATE NEW TRENCH FOR CONTINUOUS FOOTING.
 - PREPARE AREA TO RECEIVE NEW CONCRETE SLAB ON GRADE.
 - PREPARE AREA TO RECEIVE NEW BASEMENT (FOOTING, COLUMN AND FOUNDATION WALLS)
 - REMOVE BUILDING FOOTING/FOUNDATION WALLS & SLAB.
 - PRESSURE WASH SIDING/EXTERIOR WALLS TO REMOVE BUILT-UP DIRT, GRIM AND PREPARE WALLS SURFACES FOR NEW PAINT APPLICATION.
 - EXISTING DECKING, DECK FRAMING AND STAIRS TO BE REMOVED IN ITS ENTIRETY. REMOVE EXISTING DECK CONCRETE FOOTINGS.



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1	03/10/26	ISSUED FOR ZONING
NO.	DATE	DESCRIPTION

PROJECT:

CANTOR RESIDENCE

115 LINDEN AVENUE
 VERONA, NJ 07044

DEMOLITION FLOOR PLANS AND NOTES

DRAWN BY:	CHECKED BY:
MH	ES
DATE:	PROJECT NO.:
FEB 2026	ES-2570

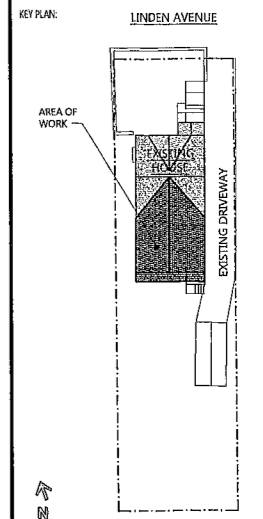
DRAWING NO.:

A-02

SHEET: 2 of 13



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 Caldwell, NJ 07006
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NO.	DATE	DESCRIPTION
1	03/10/26	ISSUED FOR ZONING

PROJECT:
CANTOR RESIDENCE
 115 LINDEN AVENUE
 VERONA, NJ 07044

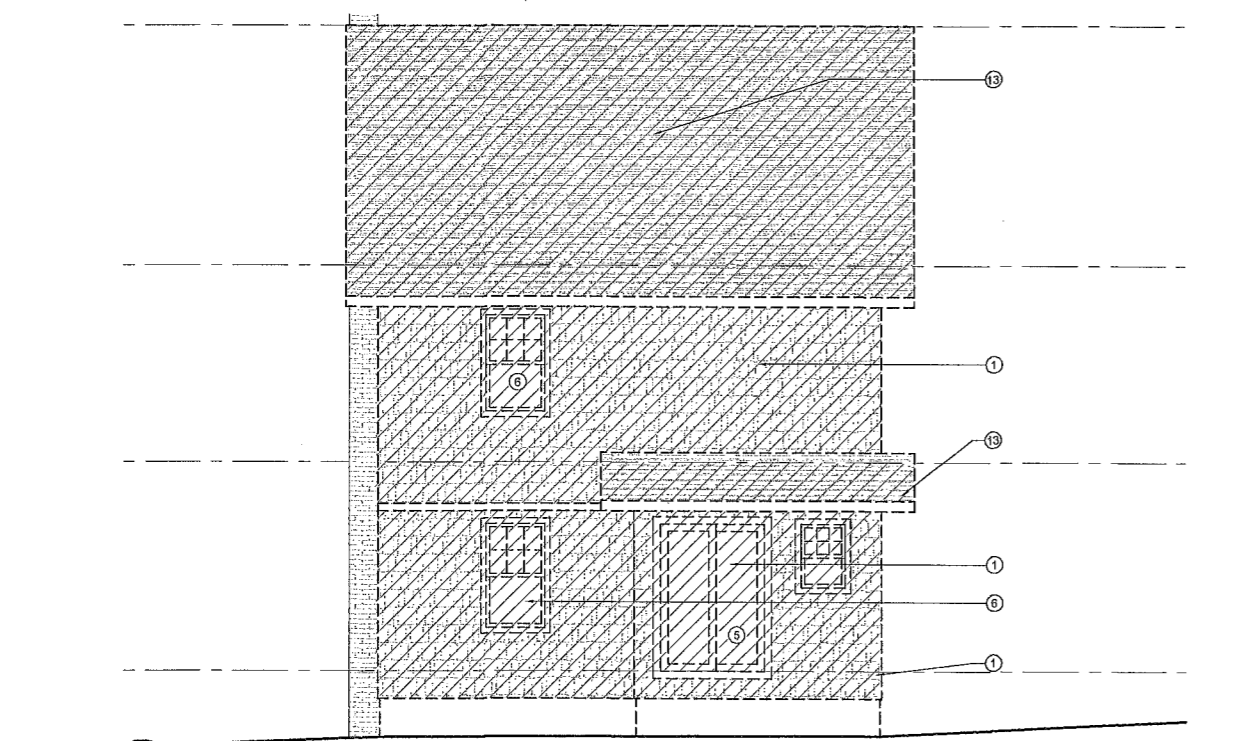
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DEMOLITION ELEVATIONS

DRAWN BY: ES	CHECKED BY: ES
DATE: FEB 2026	PROJECT NO: ES-2570

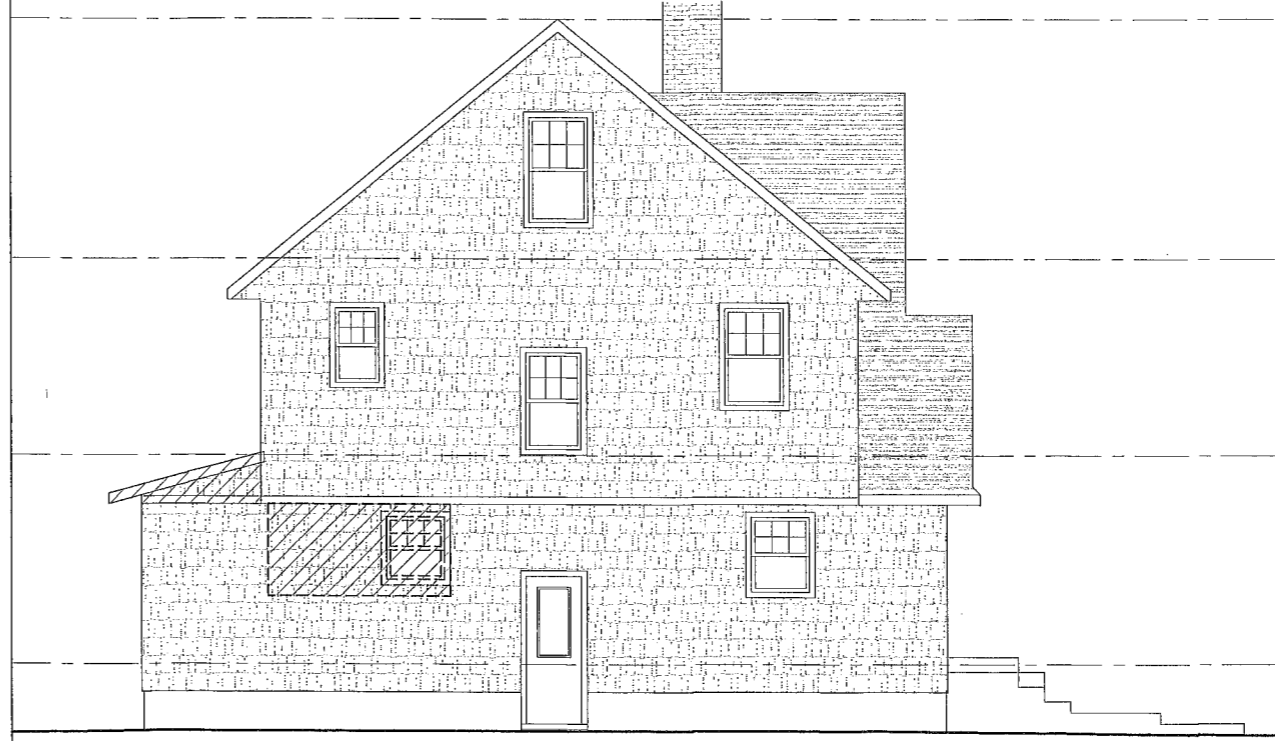
DRAWING NO:
A-03
 SHEET: 3 of 13



1 DEMOLITION LEFT ELEVATION
 A-03 SCALE: 1/4" = 1'-0"
 0 2' 4' 8'



2 DEMOLITION REAR ELEVATION
 A-03 SCALE: 1/4" = 1'-0"
 0 2' 4' 8'



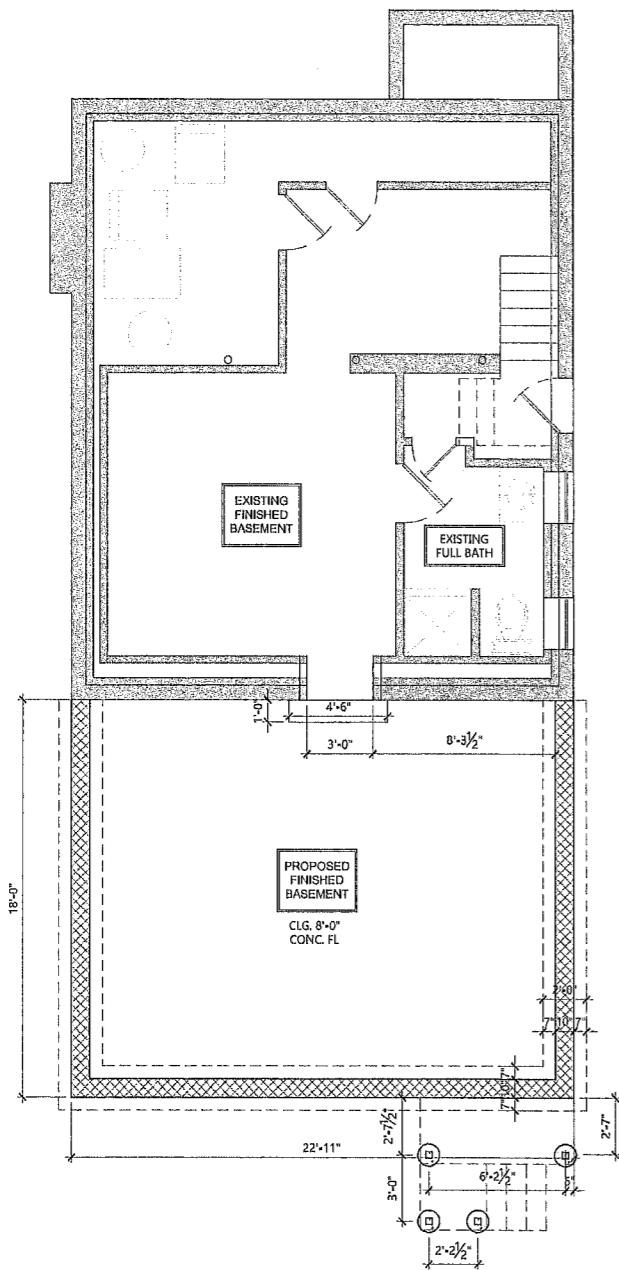
3 DEMOLITION LEFT ELEVATION
 A-03 SCALE: 1/4" = 1'-0"
 0 2' 4' 8'

DEMOLITION LEGEND

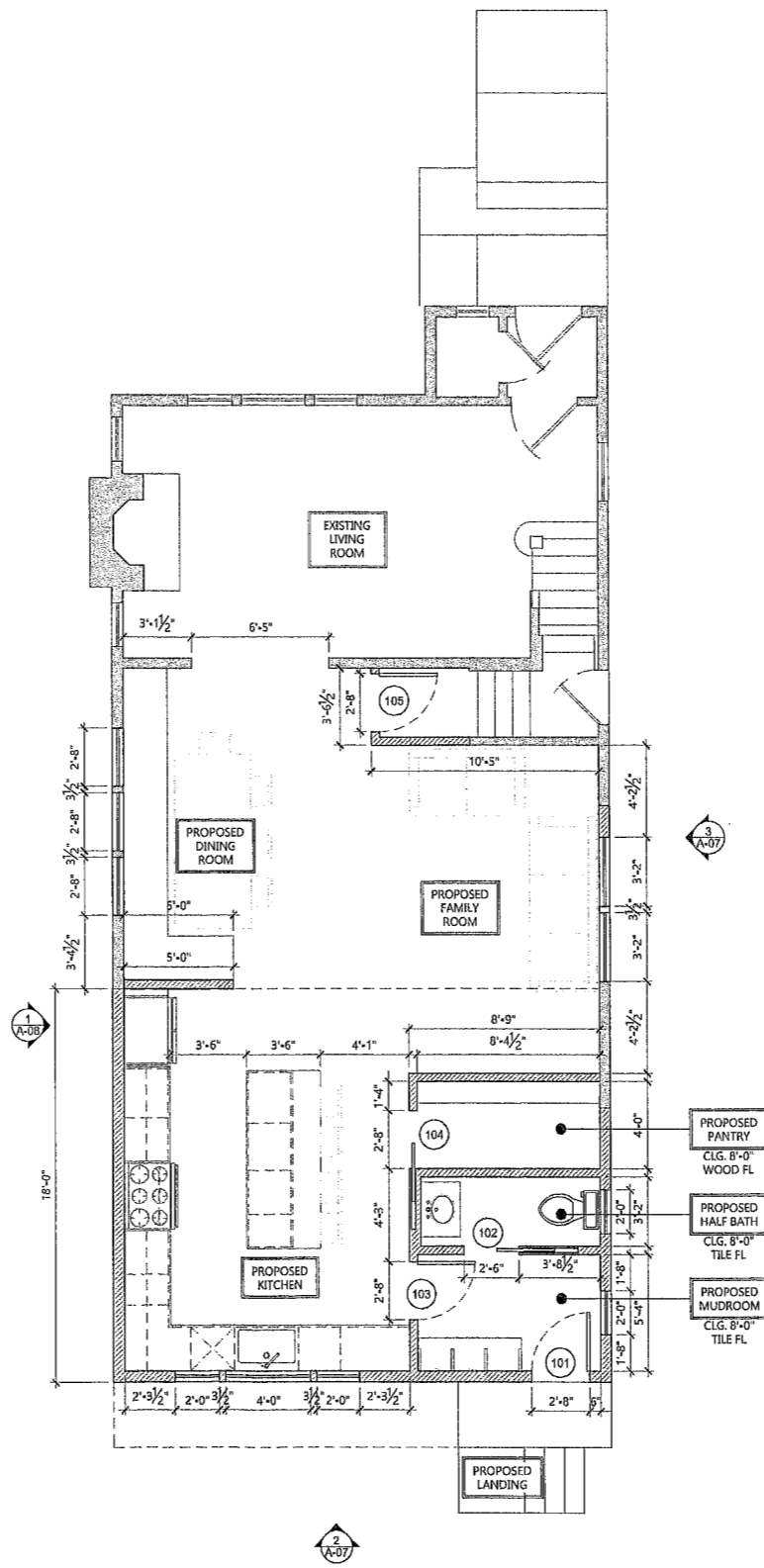
	EXISTING WALL TO REMAIN
	WALL TO BE DEMOLISHED
	WINDOW TO BE REMOVED
	DOOR & FRAME TO BE REMOVED
	ROOM NAME

- GENERAL DEMOLITION NOTES**
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY DUST AND DEBRIS PROTECTION BETWEEN AREAS OF DEMOLITION AND AREAS IN WHICH NO WORK IS TAKING PLACE. LOCATION OF SUCH PROTECTION SHALL BE VERIFIED WITH OWNER PRIOR TO COMMENCING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SUPPORT AND SHORING OF EXISTING CEILINGS, WALL PARTITIONS, BEAMS ETC. DURING DEMOLITION TO MAINTAIN STRUCTURAL INTEGRITY. SEE STRUCTURAL NOTES ON DRAWING A-06.
 - CONTRACTOR SHALL COVER AND TARP AREAS OF ROOF DURING DEMOLITION AND CONSTRUCTION TO ENSURE NO WATER AND DEBRIS PENETRATION.
 - CONTRACTOR IS TO COORDINATE ALL DEMOLITION WITH OTHER TRADES.
 - CONTRACT DRAWINGS ARE NOT INTENDED TO REPRESENT EXACT DIMENSIONS. FIELD DIMENSIONS ARE THE RESPONSIBILITY OF THIS CONTRACTOR FOR ALL DEMOLITION WORK.
 - CONTRACTOR SHALL REMOVE ANY UNUSED PLUMBING IN FLOOR PRIOR TO COMMENCING WORK. CONTRACTOR TO RELOCATE ANY EXISTING PIPING OBSTRUCTING WITH NEW WORK.
 - EXISTING ELECTRICAL CONDUIT, WIRES AND BOXES IN AREAS OF WORK SHALL BE REMOVED AND REPLACED WITH NEW. ENSURE EXISTING OUTLETS, SWITCHES AND LIGHTS TO REMAIN ARE IN WORKING ORDER.
 - CONTRACTOR TO VERIFY NO EXISTING TELECOMMUNICATION WIRES, COAXIAL CABLE AND OTHER EXISTING WIRING OR DEVICES ARE REMOVED AND OR DAMAGED DURING DEMOLITION.

- DEMOLITION KEY NOTES**
- EXISTING WALL TO BE REMOVED IN ITS ENTIRETY INCLUDING SHEATHING, STUDS, INSULATION, BLOCKING & THE LIKE.
 - REMOVE EXISTING PLAYBACK ROOM FOR BUILDING EXPANSION. THIS INCLUDES BUT NOT LIMITED FOOTING, FLOOR, WALLS, ROOF.
 - EXISTING SLAB, PATIO AND ASPHALT TO BE REMOVED. PERFORM EXCAVATION FOR NEW FOOTINGS (BUILDING ADDITION AND STAIRS)
 - REMOVE EXISTING DOOR, FRAMING, TRIM & ASSOCIATED HARDWARE. SALVAGE ALL DOOR HARDWARE FOR POSSIBLE REUSE.
 - REMOVE EXISTING WINDOW, WINDOW FRAMING, TRIM AND ASSOCIATED HARDWARE IN ITS ENTIRETY.
 - EXISTING TILE FLOORING TO BE REMOVED IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO GROUT, SETTING BED, SUB-FLOOR AND THE LIKE.
 - EXISTING KITCHEN ISLAND ONLY TO BE REMOVED INCLUDING CABINETS, COUNTER TOP, AND THE LIKE.
 - EXISTING KITCHEN APPLIANCES AND FLOOR/WALL CABINETS TO REMAIN. CONTRACTOR TO PROTECT AND SALVAGE CABINETS.
 - EXISTING PLUMBING FIXTURE TO BE REMOVED IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO HANGERS, PIPING AND THE LIKE.
 - EXISTING CEILING TO BE REMOVED IN ITS ENTIRETY.
 - PROTECT WOOD FLOORS DURING CONSTRUCTION AS REQUIRED SO NO DENTING OR DAMAGE IS DONE DURING DEMOLITION OR CONSTRUCTION.
 - EXISTING ROOF SHINGLES TO REMAIN.
 - REMOVE EXISTING ROOF SHINGLES, SHEATHING, RAFTERS AND ASSOCIATED ITEMS FOR NEW ADDITION.
 - CREATE NEW TRENCH FOR CONTINUOUS FOOTING.
 - PREPARE AREA TO RECEIVE NEW CONCRETE SLAB ON GRADE.
 - PREPARE AREA TO RECEIVE NEW BASEMENT (FOOTING, COLUMN AND FOUNDATION WALLS)
 - REMOVE BUILDING FOOTING/FOUNDATION WALLS & SLAB.
 - PRESSURE WASH SIDING/EXTERIOR WALLS TO REMOVE BUILT-UP DIRT, GRIM AND PREPARE WALLS SURFACES FOR NEW PAINT APPLICATION.
 - TOP OF CHIMNEY TO BE REMOVED AND PREPARE FOR EXTENSION.



1 PROPOSED BASEMENT/FOOTING PLAN
 SCALE: 1/4" = 1'-0"
 A-04



2 PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 A-04



CONSTRUCTION PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW GYP. BD. PARTITION
- NEW MILLWORK / cabinets as selected by owner
- NEW DOOR & FRAME TO BE INSTALLED
SEE DOOR SCHEDULE FOR TYPE
- NEW WINDOW & FRAME TO BE INSTALLED
SEE WINDOW SCHEDULE FOR TYPE
- ROOM NAME
- DET. #
ELEVATION/SECTION KEY
DWG #
- DENOTES KEY NOTE, SEE KEY NOTES RIGHT

GENERAL CONSTRUCTION NOTES

1. DURING CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY DUST AND DEBRIS PROTECTION BETWEEN AREAS OF CONSTRUCTION AND AREAS IN WHICH NO WORK IS TAKING PLACE. LOCATION OF SUCH PROTECTION SHALL BE VERIFIED WITH OWNER PRIOR TO COMMENCING WORK. HE SHALL PERFORM THE WORK IN A MANNER THAT WILL AVOID HAZARDS TO PERSONS IN ADJACENT AREAS AND THAT WON'T INTERFERE WITH WORK OR PASSAGE TO ANY OF THESE AREAS.
2. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SUPPORT AND SHORING OF EXISTING AREAS AND PARTITIONS, ETC. DURING RENOVATION AND CONSTRUCTION.
3. CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
4. ALL PENETRATIONS THROUGH DRYWALL AND MASONRY SURFACES INCLUDING BUT NOT LIMITED TO PIPE, CONDUIT, DUCTWORK, GRILLES, REGISTERS, DEVICE BOXES, HANGER RODS, ETC. SHALL HAVE THEIR COMMON JOINTS WITH DRYWALL AND/OR MASONRY CAULKED TO PROVIDE AN AIRTIGHT SEAL.
5. ALL EXTERIOR WALLS TO BE INSULATED WITH R-20 BATT INSULATION ON THE INTERIOR AND 1.5" INSULATED ZIP WALL SYSTEM WITH CONTINUOUS INSULATION ON THE EXTERIOR (ALTERNATE - CLOSED CELL SPRAY FOAM INSULATION R-30). NEW ROOF TO HAVE R-49, CONTINUOUSLY DRAPED BATT OR R60 CLOSED CELL SPRAY FOAM NEW FLOOR TO HAVE R-19, BASEMENT WALL R-10 CI OR BATT R-13 AS PER NJ IRC 2021 1102.1.2 AND IECC 402.1.1.
6. PROVIDE ALL NEW TRIM FOR BASE, WINDOW, DOOR, AND CROWN MOULDING TRIM. CONFIRM TRIM WITH OWNER AND/OR ARCHITECT. TYPICAL FOR ALL NEW AND RENOVATED SPACES.
7. CONTRACTOR IS TO COORDINATE ALL RENOVATION AND ADDITION WORK WITH ALL OTHER TRADES AS REQUIRED.
8. CONTRACT DRAWINGS ARE NOT INTENDED TO REPRESENT EXACT DIMENSIONS. FIELD DIMENSIONS ARE THE RESPONSIBILITY OF THIS CONTRACTOR FOR ALL PHASES INCLUDING BIDDING, FABRICATION, COORDINATION AND CONSTRUCTION.
9. ALL EXTERIOR GLASS DOORS, NOTED WINDOWS, WINDOWS BELOW 18" AFF AND SHOWER ENCLOSURES TO HAVE SAFETY GLAZING - REQUIRES MARKING: CPSC 16: CFR 1201.
10. NEW ELECTRICAL OUTLETS, PHONE OUTLETS, AND CABLE TV OUTLETS TO BE INSTALLED TO EXISTING PANEL(S) AS PER NEC 2020.
11. PROVIDE ALL FIRESTOPPING REQUIRED PURSUANT TO IRC 2021, R302.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
13. FOR ALL NEW HEADERS AT NEW OPENINGS, SEE STRUCTURAL FRAMING NOTE #19 ON SHEET A-07

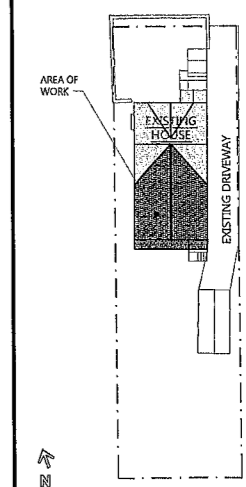
CONSTRUCTION KEY NOTES

- 1 NEW TYP. 2X4 WOOD STUD WALL @ 16" O/C WITH 1/2" GYP.BD. ON INTERIOR SIDES OF WALL.
- 2 NEW 2X6 WOOD STUD WALL WITH 1/2" GYP.BD. ON INTERIOR SIDE OF WALL AND R-21 BATT INSULATION, 1.5" THICK INSULATED ZIP WALL SYSTEM & NEW WOOD CEDAR SHAKE SIDING TO MATCH EXISTING SIDING AS REQUIRED ON EXTERIOR SIDE OF WALL.
- 3 NEW COMPOSITE WOOD DECK LANDING AND NEW COMPOSITE WOOD STAIRS WITH RAILING. COLOR AS SELECTED BY OWNER.
- 4 NEW CONCRETE FOOTING PIER IN SONO TUBE MIN 3'-0" BELOW GRADE WITH POST CAP ANCHORED TO TOP WITH MIN 1/2" DIA. J BOLT EMBEDDED MIN 10".
- 5 NEW T&G WOOD FLOORING TO MATCH EXISTING AS CLOSELY AS POSSIBLE. CONFIRM STAIN COLOR & FINISH SHEEN W/ OWNERS.
- 6 NEW TILE FLOORING. CONFIRM TYPE, LAYOUT, SIZE & THE LIKE WITH OWNER.
- 7 NEW KITCHEN/BATHROOM CABINETS AND COUNTER TOPS AS SELECTED BY OWNER.
- 8 NEW KITCHEN APPLIANCE. COORDINATE WITH OWNER.
- 9 NEW PLUMBING FIXTURE AS SELECTED BY OWNER.
- 10 NEW CLOSET SHELVING AS SELECTED BY OWNER.
- 11 NEW WALK-IN TILE SHOWER WITH GLASS DOORS AND BUILT-IN BENCH.
- 12 NEW & EXISTING ROOMS TO RECEIVE NEW PAINT, TYPICAL. COORDINATE COLOR, FINISH AND LOCATION WITH OWNER.
- 13 NEW WOOD TRIM AT BASE, DOOR/WINDOW SURROUND AND CROWN MOULDING AS REQUIRED TO MATCH EXISTING STYLE AND TYPE. CONFIRM PROFILE DETAIL WITH OWNER AND ARCHITECT.
- 14 NEW BEAM. SEE STRUCTURAL SIZE OPTIONS IN PLAN.
- 15 NEW FORCED HOT AIR HEATING TO BE CONFIRMED WITH OWNER. PROVIDE NEW CENTRAL AIR CONDITIONING FOR COOLING.
- 16 NEW ASPHALT ROOFING SHINGLES AND SUBSTRUCTURE AT NEW ROOF.
- 17 NEW ROOF SHINGLES OVER NEW VAPOR BARRIER AND ICE SHIELD OVER EXISTING ROOF SHEATHING AND RAFTERS TO REMAIN.
- 18 PROVIDE NEW CLOSET, NEW WASHER & DRYER AS SELECTED BY OWNER.
- 19 NEW FINISHED BASEMENT, FLOOR, WALL & CEILING FINISHES AS SELECTED BY OWNER.
- 20 PROVIDE NEW PAINT ON EXTERIOR WALLS. COLOR AS SELECTED BY OWNER.



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KEY PLAN



1 03/10/26 ISSUED FOR ZONING
 NO. DATE DESCRIPTION

PROJECT:

CANTOR RESIDENCE

115 LINDEN AVENUE
 VERONA, NJ 07044

PROPOSED BASEMENT & FIRST FLOOR PLANS

DRAWN BY: ES CHECKED BY: ES
 DATE: FEB 2026 PROJECT NO: ES-2570

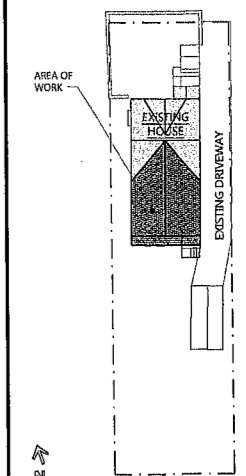
DRAWING NO: **A-04**

SHEET: 4 of 13



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KEY PLAN: LINDEN AVENUE



NO.	DATE	DESCRIPTION
1	03/10/26	ISSUED FOR ZONING

PROJECT:

CANTOR RESIDENCE

115 LINDEN AVENUE
 VERONA, NJ 07044

DRAWING TITLE:
PROPOSED SECOND, ATTIC & ROOF FLOOR PLANS

DRAWN BY: ES	CHECKED BY: ES
DATE: FEB 2026	PROJECT NO: ES-2670

DRAWING NO:
A-05
 SHEET: 5 of 13

CONSTRUCTION PLAN LEGEND

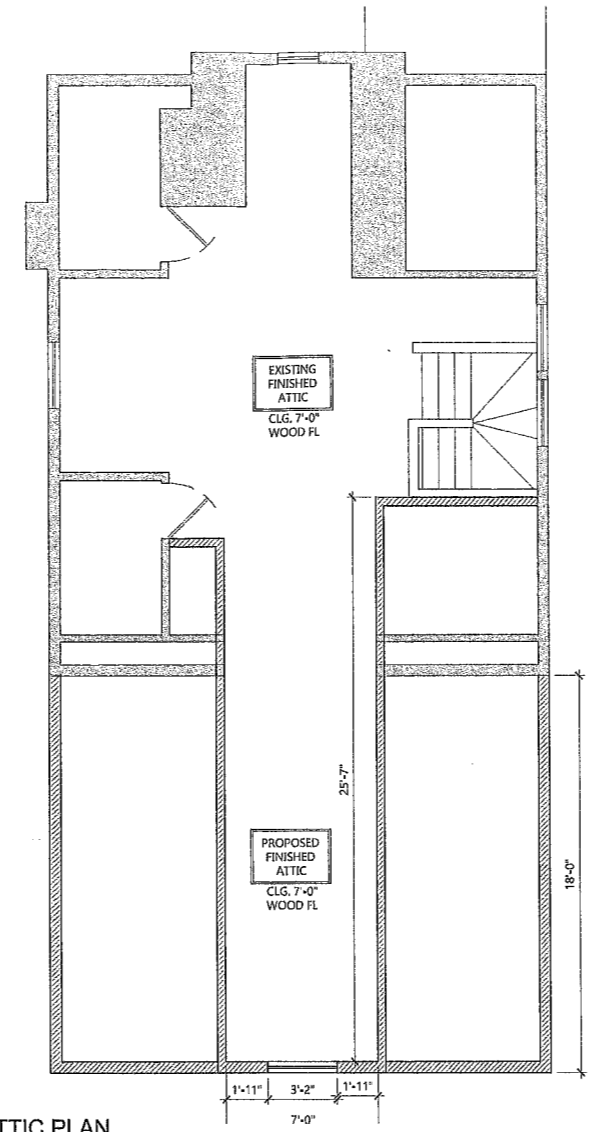
- EXISTING WALL TO REMAIN
- NEW GYP. BD. PARTITION
- NEW MILLWORK / CABINETS AS SELECTED BY OWNER
- NEW DOOR & FRAME TO BE INSTALLED
SEE DOOR SCHEDULE FOR TYPE
- NEW WINDOW & FRAME TO BE INSTALLED
SEE WINDOW SCHEDULE FOR TYPE
- ROOM NAME
- DET. #
- ELEVATION/SECTION KEY
- DWG #
- DENOTES KEY NOTE, SEE KEY NOTES RIGHT

GENERAL CONSTRUCTION NOTES

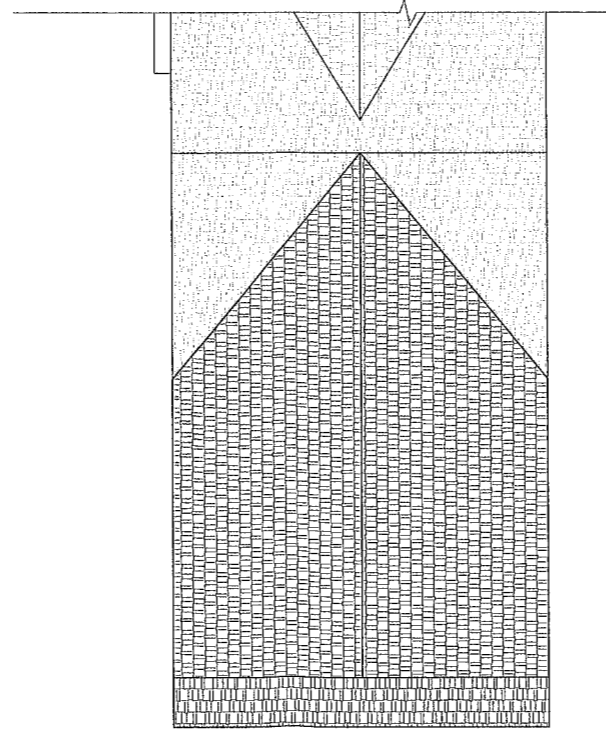
1. DURING CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY DUST AND DEBRIS PROTECTION BETWEEN AREAS OF CONSTRUCTION AND AREAS IN WHICH NO WORK IS TAKING PLACE. LOCATION OF SUCH PROTECTION SHALL BE VERIFIED WITH OWNER PRIOR TO COMMENCING WORK. HE SHALL PERFORM THE WORK IN A MANNER THAT WILL AVOID HAZARDS TO PERSONS IN ADJACENT AREAS AND THAT WON'T INTERFERE WITH WORK OR PASSAGE TO ANY OF THESE AREAS.
2. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SUPPORT AND SHORING OF EXISTING AREAS AND PARTITIONS, ETC. DURING RENOVATION AND CONSTRUCTION.
3. CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
4. ALL PENETRATIONS THROUGH DRYWALL AND MASONRY SURFACES INCLUDING BUT NOT LIMITED TO PIPE, CONDUIT, DUCTWORK, GRILLES, REGISTERS, DEVICE BOXES, HANGER RODS, ETC. SHALL HAVE THEIR COMMON JOINTS WITH DRYWALL AND/OR MASONRY CAULKED TO PROVIDE AN AIRTIGHT SEAL.
5. ALL EXTERIOR WALLS TO BE INSULATED WITH R-20 BATT INSULATION. NEW ROOF TO HAVE R-49. NEW FLOOR TO HAVE R-19. BASEMENT WALL R-10 CT OR BATT R-13 AS PER NJ IRC 2015 1102.1.2 AND IECC 402.1.1.
6. PROVIDE ALL NEW TRIM FOR BASE, WINDOW, DOOR, AND CROWN MOULDING TRIM. CONFIRM TRIM WITH OWNER AND/OR ARCHITECT. TYPICAL FOR ALL NEW AND RENOVATED SPACES.
7. CONTRACTOR IS TO COORDINATE ALL RENOVATION AND ADDITION WORK WITH ALL OTHER TRADES AS REQUIRED.
8. CONTRACT DRAWINGS ARE NOT INTENDED TO REPRESENT EXACT DIMENSIONS. FIELD DIMENSIONS ARE THE RESPONSIBILITY OF THIS CONTRACTOR FOR ALL PHASES INCLUDING BIDDING, FABRICATION, COORDINATION AND CONSTRUCTION.
9. ALL EXTERIOR GLASS DOORS, NOTED WINDOWS, WINDOWS BELOW 18" AFF AND SHOWER ENCLOSURES TO HAVE SAFETY GLAZING - REQUIRES MARKING: CPSC 16 CFR 1201.
10. NEW ELECTRICAL OUTLETS, PHONE OUTLETS, AND CABLE TV OUTLETS TO BE INSTALLED TO EXISTING PANEL(S) AS PER NEC 2014.
11. PROVIDE ALL FIRESTOPPING REQUIRED PURSUANT TO IRC 2015, R302.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
13. FOR ALL NEW HEADERS AT NEW OPENINGS, SEE STRUCTURAL SHEET, NOTE #4.

CONSTRUCTION KEY NOTES

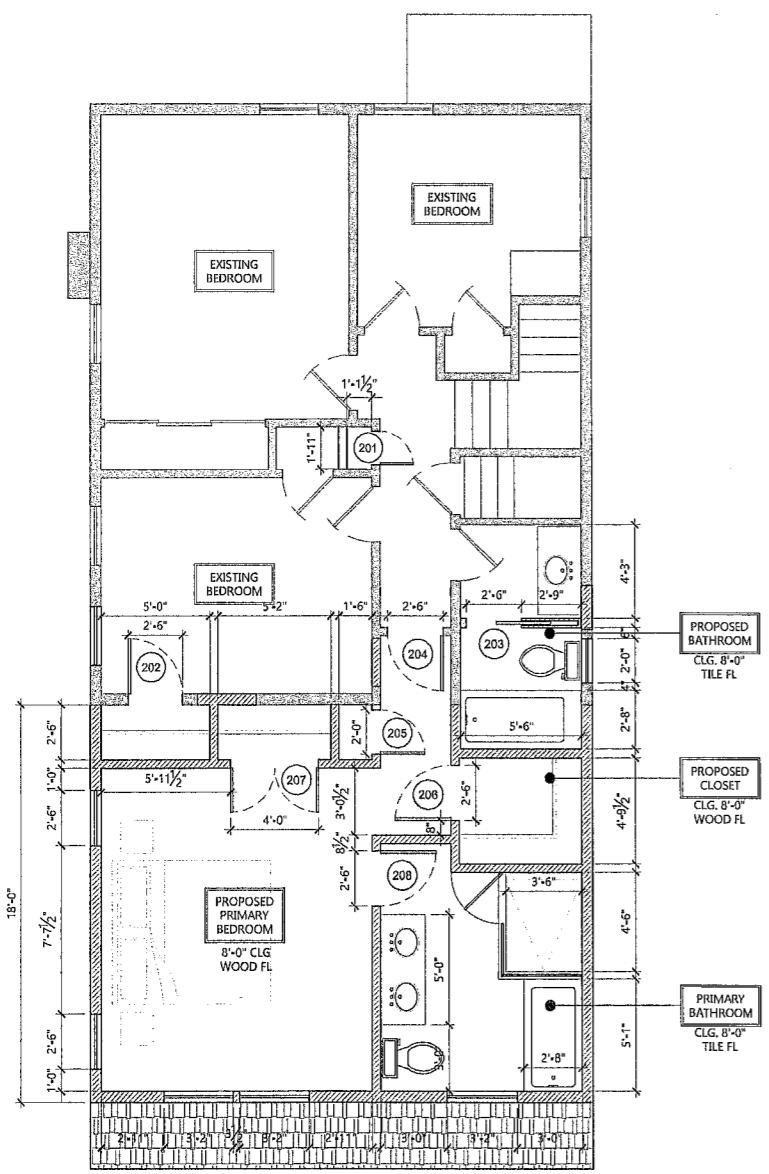
- 1) NEW TYP. 2X4 WOOD STUD WALL @ 16" O/C WITH 1/2" GYP.BD. ON INTERIOR SIDES OF WALL.
- 2) NEW 2X6 WOOD STUD WALL WITH 1/2" GYP.BD. ON INTERIOR SIDE OF WALL AND R-21 BATT INSULATION, 1.5" THICK INSULATED ZIP WALL SYSTEM & NEW WOOD CEDAR SHAKE SIDING TO MATCH EXISTING SIDING AS REQUIRED ON EXTERIOR SIDE OF WALL.
- 3) NEW COMPOSITE WOOD DECK LANDING AND NEW COMPOSITE WOOD STAIRS WITH RAILING, COLOR AS SELECTED BY OWNER.
- 4) NEW CONCRETE FOOTING PIER IN SONO TUBE MIN 3'-0" BELOW GRADE WITH POST CAP ANCHORED TO TOP WITH MIN 1/2" DIA. J BOLT EMBEDDED MIN 10".
- 5) NEW T&G WOOD FLOORING TO MATCH EXISTING AS CLOSELY AS POSSIBLE. CONFIRM STAIN COLOR & FINISH SHEEN W/ OWNERS.
- 6) NEW TILE FLOORING. CONFIRM TYPE, LAYOUT, SIZE & THE LIKE WITH OWNER.
- 7) NEW KITCHEN/BATHROOM CABINETS AND COUNTER TOPS AS SELECTED BY OWNER.
- 8) NEW KITCHEN APPLIANCE. COORDINATE WITH OWNER.
- 9) NEW PLUMBING FIXTURE AS SELECTED BY OWNER.
- 10) NEW CLOSET SHELVING AS SELECTED BY OWNER.
- 11) NEW WALK-IN TILE SHOWER WITH GLASS DOORS AND BUILT-IN BENCH.
- 12) NEW & EXISTING ROOMS TO RECEIVE NEW PAINT, TYPICAL. COORDINATE COLOR, FINISH AND LOCATION WITH OWNER.
- 13) NEW WOOD TRIM AT BASE, DOOR/WINDOW SURROUND AND CROWN MOULDING AS REQUIRED TO MATCH EXISTING STYLE AND TYPE. CONFIRM PROFILE DETAIL WITH OWNER AND ARCHITECT.
- 14) NEW BEAM. SEE STRUCTURAL SIZE OPTIONS IN PLAN.
- 15) NEW FORCED HOT AIR HEATING-TO BE CONFIRMED WITH OWNER. PROVIDE NEW CENTRAL AIR CONDITIONING FOR COOLING.
- 16) NEW ASPHALT ROOFING SHINGLES AND SUBSTRUCTURE AT NEW ROOF.
- 17) NEW ROOF SHINGLES OVER NEW VAPOR BARRIER AND ICE SHIELD OVER EXISTING ROOF SHEATHING AND RAFTERS TO REMAIN.
- 18) PROVIDE NEW CLOSET, NEW WASHER & DRYER AS SELECTED BY OWNER.
- 19) NEW FINISHED BASEMENT, FLOOR, WALL & CEILING FINISHES AS SELECTED BY OWNER.
- 19) PROVIDE NEW PAINT ON EXTERIOR WALLS. COLOR AS SELECTED BY OWNER.



2 PROPOSED ATTIC PLAN
 A-05 SCALE: 1/4" = 1'-0"



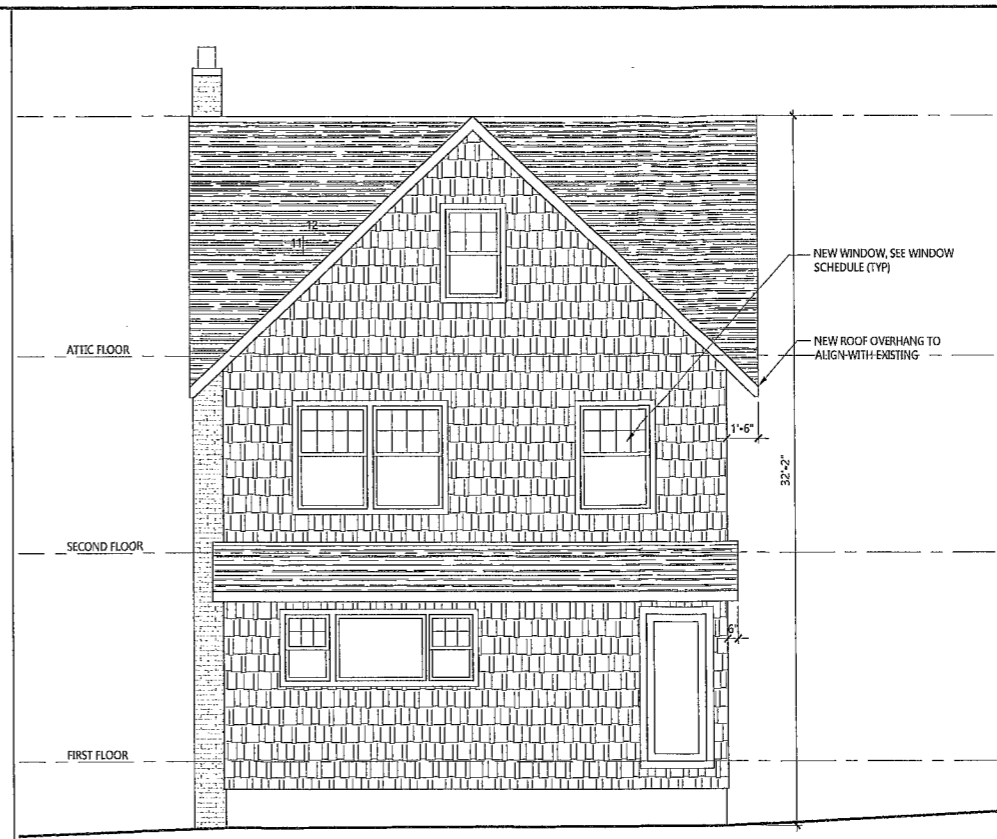
3 PROPOSED ROOF PLAN
 A-05 SCALE: 1/4" = 1'-0"



1 PROPOSED SECOND FLOOR PLAN
 A-05 SCALE: 1/4" = 1'-0"



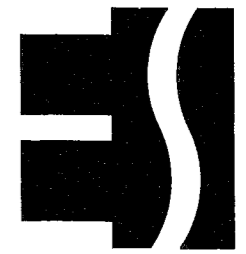
1
A-07
RIGHT SIDE
PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"
0 2' 4' 8'



2
A-07
REAR SIDE
PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"
0 2' 4' 8'

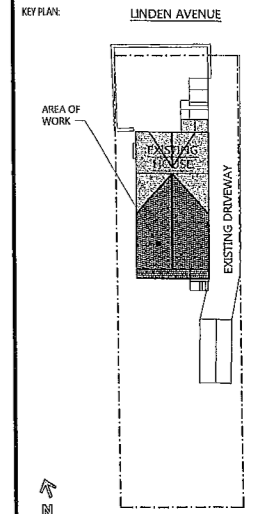


3
A-07
LEFT SIDE
PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"
0 2' 4' 8'



ARCHITECTS

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NO.	DATE	DESCRIPTION
1	03/10/26	ISSUED FOR ZONING

PROJECT:
CANTOR RESIDENCE

115 LINDEN AVENUE
VERONA, NJ 07044

DRAWING TITLE:
PROPOSED ELEVATIONS

DRAWN BY: ES	CHECKED BY: ES
DATE: FEB 2026	PROJECT NO: ES-2570

DRAWING NO:
A-07

SHEET: 7 of 13